



Parcel: 63-00431-000

Year: 2018

SUMMARY

Deeded Name	BURSON JEFFERY J	Taxpayer	BURSON JEFFERY J
Owner	BURSON JEFFERY J 2253 WAINRIGHT ROAD SE NEW PHILADELPHIA OH 44663		2239 WAINWRIGHT RD SE NEW PHILADELPHIA OH 44663
Tax District	63-WARWICK TWP-INDIAN VALLEY SD	Land Use	511-SINGLE FAMILY DWELLING - UNPLATTED 0 - 9.99 ACRES
School District	INDIAN VALLEY SD	Subdivision	
Location	2239 SE WAINWRIGHT RD	Legal	1 7 2 ALLMAN TR .50A
CD Year		Map Number	4
Acres	0.5000	Sold	7/16/2012
		Routing Number	25000
		Sales Amount	0.00

VALUE

District	63-WARWICK TWP-INDIAN VALLEY SD
Land Use	511-SINGLE FAMILY DWELLING - UNPLATTED 0 - 9.99 ACRES

CHARGES

Full Rate	60.200000
Effective Rate	43.729520
Qualifying Rate	39.622464

	Appraised	Assessed
Land	7,780	2,720
Improvement	52,560	18,400
Total	60,340	21,120
CAUV N	0	0
Homestead N	0	0
OOC N	0	0
Taxable	60,340	21,120

	Prior	First	Second	Total
Tax	0.00	419.94	419.94	839.88
Special	0.00	3.00	3.00	6.00
Total	0.00	422.94	422.94	845.88
Paid	0.00	422.94	422.94	845.88
Due	0.00	0.00	0.00	0.00

TRANSFER HISTORY

Date	Buyer	Conveyance	Deed Type	Sales Amount	Valid
7/16/2012	BURSON JEFFERY J	90871	CERTIFICATE OF TRANSFER	\$0.00	N
2/21/2012	HILL NAOMI	90214	CERTIFICATE OF TRANSFER	\$0.00	N
6/11/1996	HILL NAOMI	1704	CERTIFICATE OF TRANSFER	\$0.00	N

LAND

Type	Dimensions	Description	Value
HS-HOMESITE	0.410	Acres	7,780
RW-RIGHT OF WAY	0.090	Acres	0

DWELLING

Card 1					
Style	01-SINGLE FAMILY	Family Rooms	0	Heating	Y
Stories	1.00	Dining Rooms	0	Cooling	Y
Rec Room Area	0	Year Built	1948	Grade	C-2
Finished Basement	0	Year Remodeled		Fireplace Openings	0
Rooms	5	Full Baths	1	Fireplace Stacks	0
Bed Rooms	2	Half Baths	0	Living Area	1,064
		Other Fixtures	0	Value	52,560

OTHER IMPROVEMENT

Card	Type	Year Built	Year Remodeled	Condition	Dimensions	Description	Size	Value
1	MOBILE HM-MOBILE HOME	1994		A-AVERAGE	26 X 68	Width x Length (Optional)	1,768	0
1	TWDDK-TRAILER WOOD DECK	1994		G-GOOD	8 X 16	Length x Width (Optional)	128	0
1	TWDDK-TRAILER WOOD DECK	1994		G-GOOD	10 X 16	Length x Width (Optional)	160	0

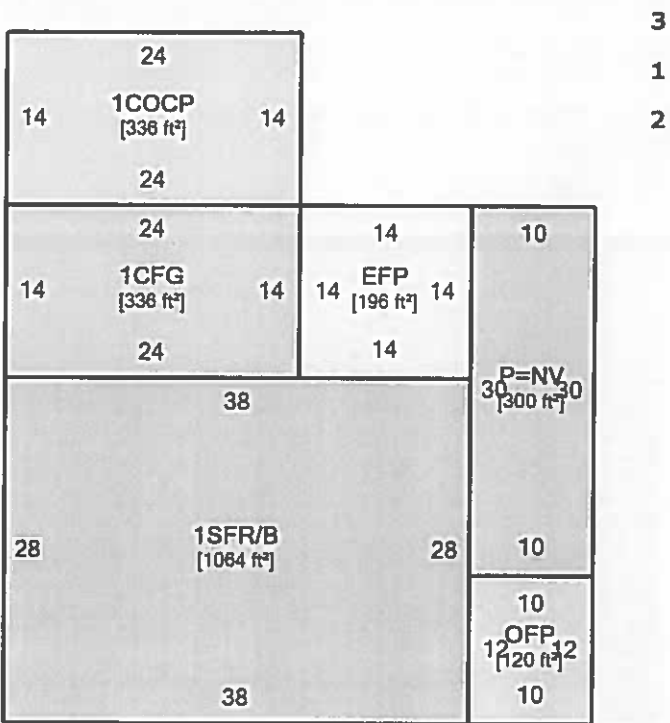
UTILITIES

Water	N	Sewer	N	Electric	N	Gas	N	Well	N	Septic	N
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SKETCH

Card 1

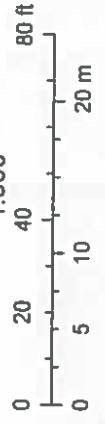
ID	Description	Size
A	1SFR/B	1,064
B	EFP	196
C	1CFG	336
D	OFP	120
E	P=NV	300
F	1COCP	336
1	MOBILE HM-MOBILE HOME	1,768
2	TWDDK-TRAILER WOOD DECK	128
3	TWDDK-TRAILER WOOD DECK	160





August 12, 2019

1:500





Parcel: 63-00432-000

Year: 2018

SUMMARY

Deeded Name	BURSON JEFFERY J	Taxpayer	BURSON JEFFERY J
Owner	BURSON JEFFERY J 2253 WAINRIGHT ROAD SE NEW PHILADELPHIA OH 44663		2239 WAINWRIGHT RD SE NEW PHILADELPHIA OH 44663
Tax District	63-WARWICK TWP-INDIAN VALLEY SD	Land Use	501-RESIDENTIAL VACANT LAND - UNPLATTED 0 - 9.99 ACRES
School District	INDIAN VALLEY SD	Subdivision	
Location	SE WAINWRIGHT RD	Legal	1 7 2 .274A
CD Year		4	Routing Number 26000
Acres	0.2740	7/16/2012	Sales Amount 0.00
Map Number			
Sold			

VALUE

District	63-WARWICK TWP-INDIAN VALLEY SD
Land Use	501-RESIDENTIAL VACANT LAND - UNPLATTED 0 - 9.99 ACRES

CHARGES

Full Rate	60.200000
Effective Rate	43.729520
Qualifying Rate	39.622464

	Appraised	Assessed
Land	6,110	2,140
Improvement	0	0
Total	6,110	2,140
CAUV N	0	0
Homestead N	0	0
OOC N	0	0
Taxable	6,110	2,140

	Prior	First	Second	Total
Tax	0.00	42.55	42.55	85.10
Special	0.00	0.00	0.00	0.00
Total	0.00	42.55	42.55	85.10
Paid	0.00	42.55	42.55	85.10
Due	0.00	0.00	0.00	0.00

TRANSFER HISTORY

Date	Buyer	Conveyance	Deed Type	Sales Amount	Valid
7/16/2012	BURSON JEFFERY J	90871	CERTIFICATE OF TRANSFER	\$0.00	N
2/21/2012	HILL NAOMI	90214	CERTIFICATE OF TRANSFER	\$0.00	N

LAND

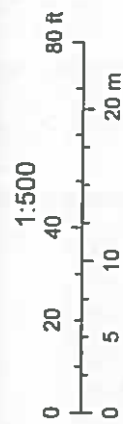
Type	Dimensions	Description	Value
HS-HOMESITE	0.230	Acres	6,110
RW-RIGHT OF WAY	0.044	Acres	0

UTILITIES

Water	N	Sewer	N	Electric	N	Gas	N	Well	N	Septic	N
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August 12, 2019





Parcel: 63-00923-001

Year: 2018

SUMMARY

Deeded Name	BURSON JEFFERY J JR	Taxpayer	BURSON JEFFERY J
Owner	BURSON JEFFERY J JR 2253 WAINWRIGHT ROAD SE NEW PHILADELPHIA OH 44663		2239 WAINWRIGHT RD SE NEW PHILADELPHIA OH 44663
Tax District	63-WARWICK TWP-INDIAN VALLEY SD	Land Use	501-RESIDENTIAL VACANT LAND - UNPLATTED 0 - 9.99 ACRES
School District	INDIAN VALLEY SD	Subdivision	
Location	SE WAINWRIGHT RD	Legal	1 7 2 ALLMAN TR .232A
CD Year		4	Routing Number 27010
Acres	0.2320	6/11/2012	Sales Amount 0.00
Map Number			
Sold			

VALUE

District	63-WARWICK TWP-INDIAN VALLEY SD
Land Use	501-RESIDENTIAL VACANT LAND - UNPLATTED 0 - 9.99 ACRES

CHARGES

Full Rate	60.200000
Effective Rate	43.729520
Qualifying Rate	39.622464

	Appraised	Assessed
Land	1,100	390
Improvement	0	0
Total	1,100	390
CAUV N	0	0
Homestead N	0	0
OOC N	0	0
Taxable	1,100	390

	Prior	First	Second	Total
Tax	0.00	7.76	7.76	15.52
Special	0.00	0.00	0.00	0.00
Total	0.00	7.76	7.76	15.52
Paid	0.00	7.76	7.76	15.52
Due	0.00	0.00	0.00	0.00

TRANSFER HISTORY

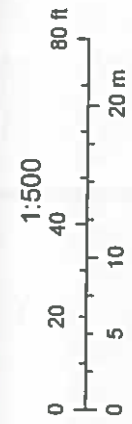
Date	Buyer	Conveyance	Deed Type	Sales Amount	Valid
6/11/2012	BURSON JEFFERY J JR	90706	AFFIDAVIT	\$0.00	N
3/14/2001	SWALDO MARY K	99999	MISCELLANEOUS	\$0.00	N
3/14/2001	BURSON JEFFREY & MARGARET A	90337	JOINT SURVIVORSHIP	\$0.00	N

LAND

Type	Dimensions	Description	Value
WD-WOODS	0.232	Acres	1,100

UTILITIES

Water	N	Sewer	N	Electric	N	Gas	N	Well	N	Septic	N
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August 12, 2019



AGENCY DISCLOSURE STATEMENT



The real estate agent who is providing you with this form is required to do so by Ohio law. You will not be bound to pay the agent or the agent's brokerage by merely signing this form. Instead, the purpose of this form is to confirm that you have been advised of the role of the agent(s) in the transaction proposed below. (For purposes of this form, the term "seller" includes a landlord and the term "buyer" includes a tenant.)

Property Address: 2239 Wainwright Rd

Buyer(s): _____

Seller(s): Burson Estate

I. TRANSACTION INVOLVING TWO AGENTS IN TWO DIFFERENT BROKERAGES

The buyer will be represented by _____, and _____
AGENT(S) BROKERAGE

The seller will be represented by _____, and _____
AGENT(S) BROKERAGE

II. TRANSACTION INVOLVING TWO AGENTS IN THE SAME BROKERAGE

If two agents in the real estate brokerage _____ represent both the buyer and the seller, check the following relationship that will apply:

- ☐ Agent(s) _____ work(s) for the buyer and Agent(s) _____ work(s) for the seller. Unless personally involved in the transaction, the broker and managers will be "dual agents", which is further explained on the back of this form. As dual agents they will maintain a neutral position in the transaction and they will protect all parties' confidential information.
- ☐ Every agent in the brokerage represents every "client" of the brokerage. Therefore, agents _____ and _____ will be working for both the buyer and seller as "dual agents". Dual agency is explained on the back of this form. As dual agents they will maintain a neutral position in the transaction and they will protect all parties' confidential information. Unless indicated below, neither the agent(s) nor the brokerage acting as a dual agent in this transaction has a personal, family or business relationship with either the buyer or seller. *If such a relationship does exist, explain:* _____

III. TRANSACTION INVOLVING ONLY ONE REAL ESTATE AGENT

Agent(s) Ryan W. Hlick and real estate brokerage MetLife Realty will

- ☐ be "dual agents" representing both parties in this transaction in a neutral capacity. Dual agency is further explained on the back of this form. As dual agents they will maintain a neutral position in the transaction and they will protect all parties' confidential information. Unless indicated below, neither the agent(s) nor the brokerage acting as a dual agent in this transaction has a personal, family or business relationship with either the buyer or seller. *If such a relationship does exist, explain:* _____

- ☒ represent only the (check one) ☒ seller or ☐ buyer in this transaction as a client. The other party is not represented and agrees to represent his/her own best interest. Any information provided the agent may be disclosed to the agent's client.

CONSENT

I (we) consent to the above relationships as we enter into this real estate transaction. If there is a dual agency in this transaction, I (we) acknowledge reading the information regarding dual agency explained on the back of this form.

BUYER/TENANT _____ DATE _____

BUYER/TENANT _____ DATE _____

Jan A. Burson Admin
SELLER/LANDLORD _____ DATE _____

SELLER/LANDLORD _____ DATE _____

Disclosure of Information on Lead-Based Paint and/or Lead-Based Paint Hazards

Property Address 2239 Wainwright Rd New Ph. 712

Lead Warning Statement

Every purchaser of any interest in residential real property on which a residential dwelling was built prior to 1978 is notified that such property may present exposure to lead from lead-based paint that may place young children at risk of developing lead poisoning. Lead poisoning in young children may produce permanent neurological damage, including learning disabilities, reduced intelligence quotient, behavioral problems, and impaired memory. Lead poisoning also poses a particular risk to pregnant women. The seller of any interest in residential real property is required to provide the buyer with any information on lead-based paint hazards from risk assessments or inspections in the seller's possession and notify the buyer of any known lead-based paint hazards. A risk assessment or inspection for possible lead-based paint hazards is recommended prior to purchase.

Seller's Disclosure

(a) Presence of lead-based paint and/or lead-based paint hazards (check (i) or (ii) below):

(i) _____ Known lead-based paint and/or lead-based paint hazards are present in the housing (explain).

(ii) ☒ Seller has no knowledge of lead-based paint and/or lead-based paint hazards in the housing.

(b) Records and reports available to the seller (check (i) or (ii) below):

(i) _____ Seller has provided the purchaser with all available records and reports pertaining to lead-based paint and/or lead-based paint hazards in the housing (list documents below).

(ii) ☒ Seller has no reports or records pertaining to lead-based paint and/or lead-based paint hazards in the housing.

Purchaser's Acknowledgment (Initial)

(c) _____ Purchaser has received copies of all information listed above.

(d) _____ Purchaser has received the pamphlet *Protect Your Family from Lead in Your Home*.

(e) Purchaser has (check (i) or (ii) below):

(i) _____ received a 10-day opportunity (or mutually agreed upon period) to conduct a risk assessment or inspection for the presence of lead-based paint and/or lead-based paint hazards; or

(ii) ☒ waived the opportunity to conduct a risk assessment or inspection for the presence of lead-based paint and/or lead-based paint hazards.

Agent's Acknowledgment (Initial)

(f) AW Agent has informed the seller of the seller's obligations under 42 U.S.C. 4852(d) and is aware of his/her responsibility to ensure compliance.

Certification of Accuracy

The following parties have reviewed the information above and certify, to the best of their knowledge, that the information they have provided is true and accurate.

<u>Jim A. Burson Admin.</u>	_____	_____	_____
Seller	Date	Seller	Date
<u>[Signature]</u>	_____	_____	_____
Purchaser	Date	Purchaser	Date
<u>[Signature]</u>	7/30/19	_____	_____
Agent	Date	Agent	Date